



ADDENDUM NUMBER ONE

January 12, 2024

- **IFB 24-912-13: INTERIOR/ EXTERIOR REPAIRS FOR UPTOWN, DOWNTOWN SCATTERED SITES AND FLORIDA HOUSING COMMUNITY**
- **IFB 24-912-14: INTERIOR/ EXTERIOR REPAIRS FOR WESTBANK SCATTERED SITES AND FISCHER I AND III HOUSING COMMUNITY**

THIS ADDENDUM IS BEING ISSUED TO INCORPORATE THE FOLLOWING IN THE REFERENCED INVITATION FOR BIDS.

INSERT: WEATHER PERMITTING SITE VISITS WILL BE:

- **Westbank locations: Tuesday, January 16, 2024, from 9am till 1pm**
- **Uptown, Downtown and Florida locations: Wednesday, January 17, 2024, from 9am until 1pm**

If the weather does not permit, an email will be sent to reschedule or you may contact Peter Do via email with availability.

Question: How many units are gutted?

Answer: Two units at the Fischer, 1716 Hero and 2101 LB Landry

Proposals must be received by the Housing Authority of New Orleans (HANO) in the Office of Procurement and Contracts by 2:00 p.m., local time on Thursday, February 8, 2024. All terms and conditions shall remain as stated in the original Invitation for Bids. All addenda must be acknowledged.

END OF ADDENDUM NUMBER ONE



ADDENDUM NUMBER TWO

January 18, 2024

• **IFB 24-912-13: INTERIOR/ EXTERIOR REPAIRS FOR UPTOWN, DOWNTOWN SCATTERED SITES AND FLORIDA HOUSING COMMUNITY**

• **IFB 24-912-14: INTERIOR/ EXTERIOR REPAIRS FOR WESTBANK SCATTERED SITES AND FISCHER I AND III HOUSING COMMUNITY**

THIS ADDENDUM IS BEING ISSUED TO INCORPORATE THE FOLLOWING IN THE REFERENCED INVITATION FOR BIDS.

INSERT: NEW WALK-THROUGH TIMES AND DATES:

- **Westbank on Tuesday 9am -12noon**
- **Scattered Sites and Florida on Thursday 1pm – 4pm**

Question - The scope calls for click-lock flooring, but the technical specs refer to vinyl plank glue-down flooring. Which installation method/floor type will be required?

Answer - It depends on the sub flooring. If the subfloor is concrete slab, then glue-down flooring. Click-lock is required for plywood subfloor.

Question - The technical specs state that flooring underlayment is optional. Will it be a requirement?

Answer - All depends on the subfloor for concrete no, for plywood yes.

Question - Line 44 says repair/replace as needed (trim), but line 63 calls for all new. Which one will be required?

Answer – All new trim.

Question - Line 31 says repair/replace as needed (plumbing fixtures), but line 70 calls for all new. Which one will be required?

Answer – All new plumbing fixtures.

Question - Line 30 says repair repair/replace as needed (electrical switches and plates), but line 72 calls for all new. Which one will be required?

Answer - If the electrical switches, outlet, plates are broken then replace. If functioning correctly then there is no need for replacement or repair.

Question - Is the water and electricity functional in all apartments? How will HANO address delays if the utilities are not on when work is scheduled to start?

Answer - I will have to check with site management to see if all electricity and water is functional.

Proposals must be received by the Housing Authority of New Orleans (HANO) in the Office of Procurement and Contracts by 2:00 p.m., local time on Thursday, February 8, 2024. All terms and conditions shall remain as stated in the original Request for Proposals. All addenda must be acknowledged.

END OF ADDENDUM NUMBER TWO



ADDENDUM NUMBER THREE

January 23, 2024

- **IFB 24-912-13: INTERIOR/ EXTERIOR REPAIRS FOR UPTOWN, DOWNTOWN SCATTERED SITES AND FLORIDA HOUSING COMMUNITY**
- **IFB 24-912-14: INTERIOR/ EXTERIOR REPAIRS FOR WESTBANK SCATTERED SITES AND FISCHER I AND III HOUSING COMMUNITY**

THIS ADDENDUM IS BEING ISSUED TO INCORPORATE THE FOLLOWING IN THE REFERENCED INVITATION FOR BIDS.

INSERT: ADDITIONAL WALK-THROUGH TIMES AND DATES:

- Westbank on Tuesday, January 23, 2024, from 9am to 12noon
- Scattered Sites and Florida on Thursday, January 25, 2024, from 1pm to 4pm
- Westbank on Monday, January 29, 2024, from 9am to 1pm
- Scattered Sites and Florida on Friday, February 2, 2024, from 9am to 2pm

Please note that some of the units cannot be accessed via the front door, so you may have to use the back door. These are listed in order of visitation.

Westbank Scattered Sites and Fischer I & III (8 Units)
1700 Vespasian
2025 Wagner
2029 Wagner
1728 Hero
1716 Hero
1712 Hero
1972 Hendee
1806 Mardi Gras (WBSS)

Uptown, Downtown Scattered Sites and Florida (8 Units)
1821 N. Galvez St.
1823 N. Galvez St.
2114 Allen St.
2524 Alvar St.
4319 Chartres St. Apt "C"
1223 St. Mary St. Apt "F"
1223 St. Mary St. Apt "D"
3820 Annunciation St.

HOUSING AUTHORITY OF NEW ORLEANS
REPAIR AND REHABILITATION OF
FISCHER PHASE I, II, AND SENIOR VILLAGE

HANO A/E Contract:
#09-120-03-11D;
Task Order VZA-003

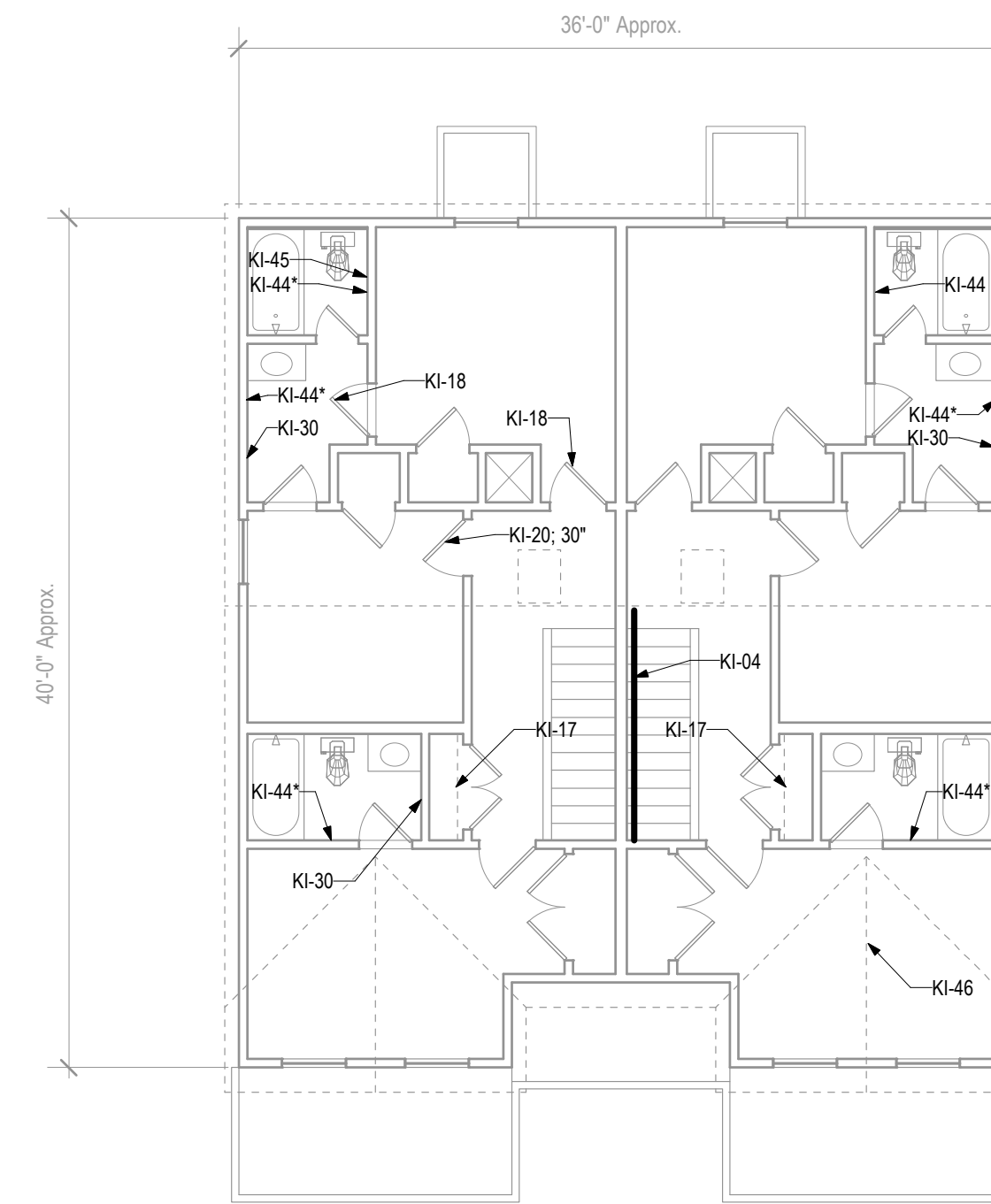
issue and print dates:
May 2, 2012 – Bid Issue

Michael Cajski
Registered Architect #5201

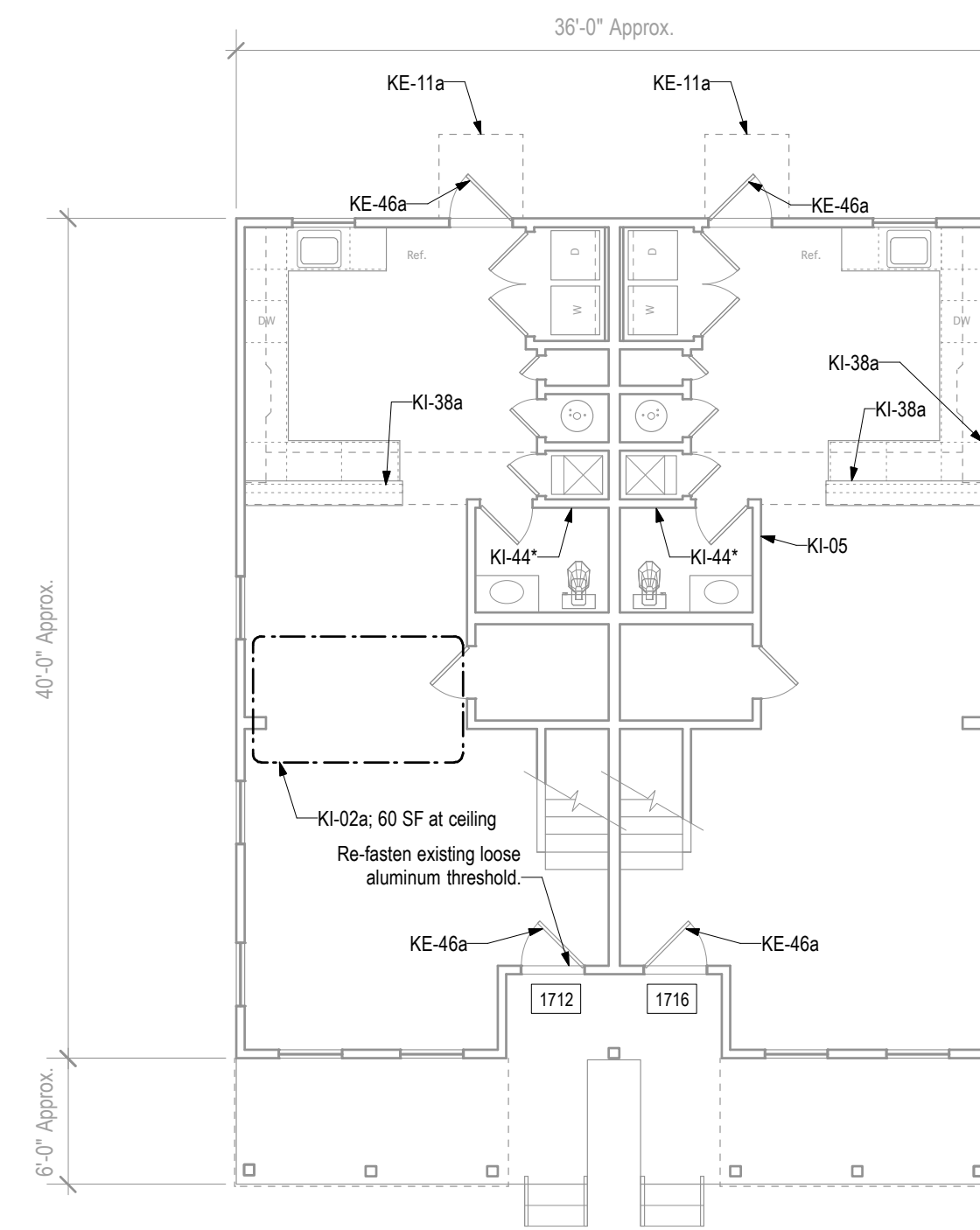
Vol. 0 project no. 11-001
drawn by VT & MC

sheet no.

A2.12



2 1712 & 1716 Hero Blvd.: Second Floor Plan
A2.12 Scale: 1/8" = 1'-0"



1 1712 & 1716 Hero Blvd.: First Floor Plan
A2.12 Scale: 1/8" = 1'-0"

HOUSING AUTHORITY OF NEW ORLEANS
 REPAIR AND REHABILITATION OF
 FISCHER PHASE I, II, AND SENIOR VILLAGE

HANO A/E Contract:
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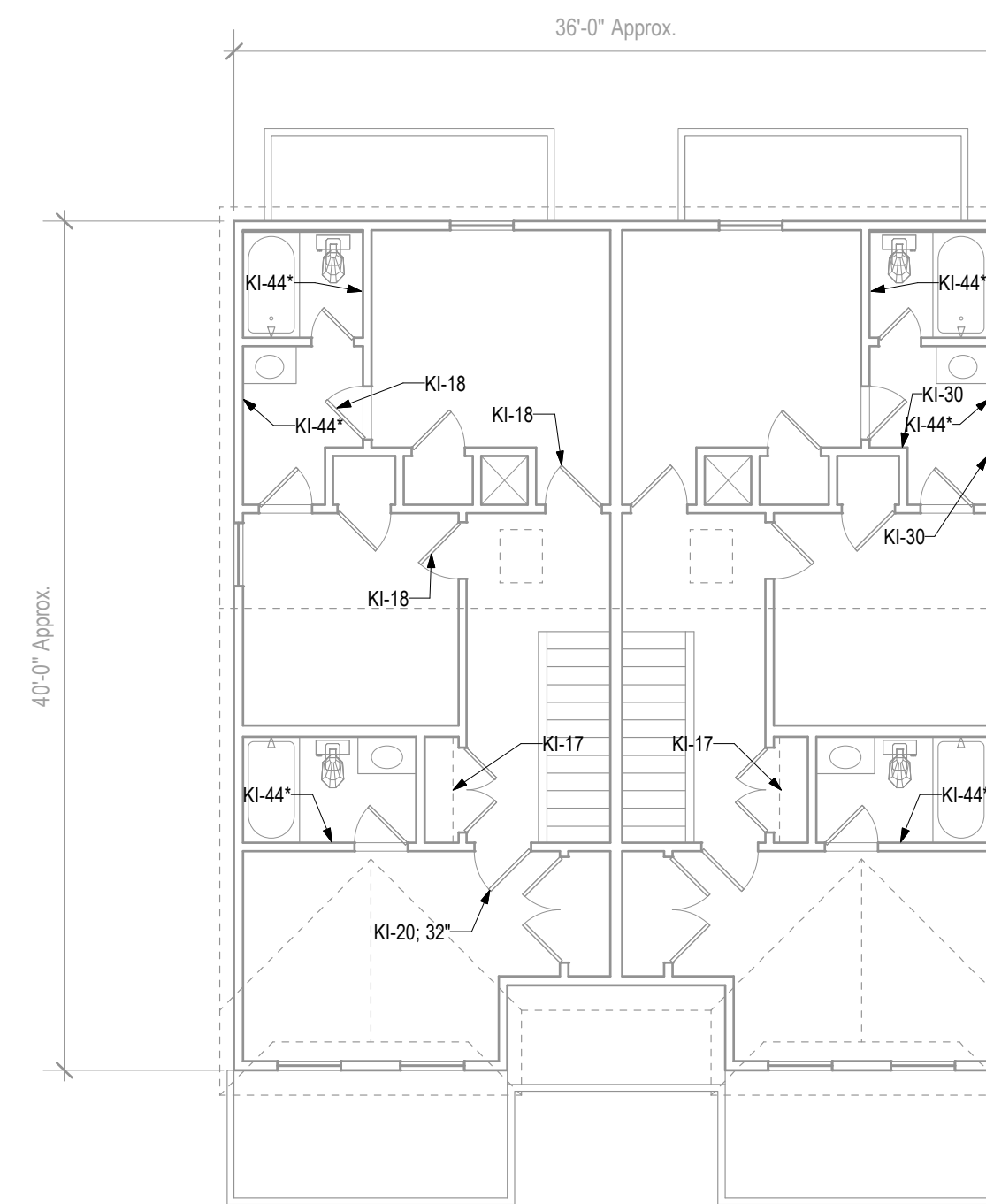
issue and print dates:
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Michael Cajski
 Registered Architect #5201

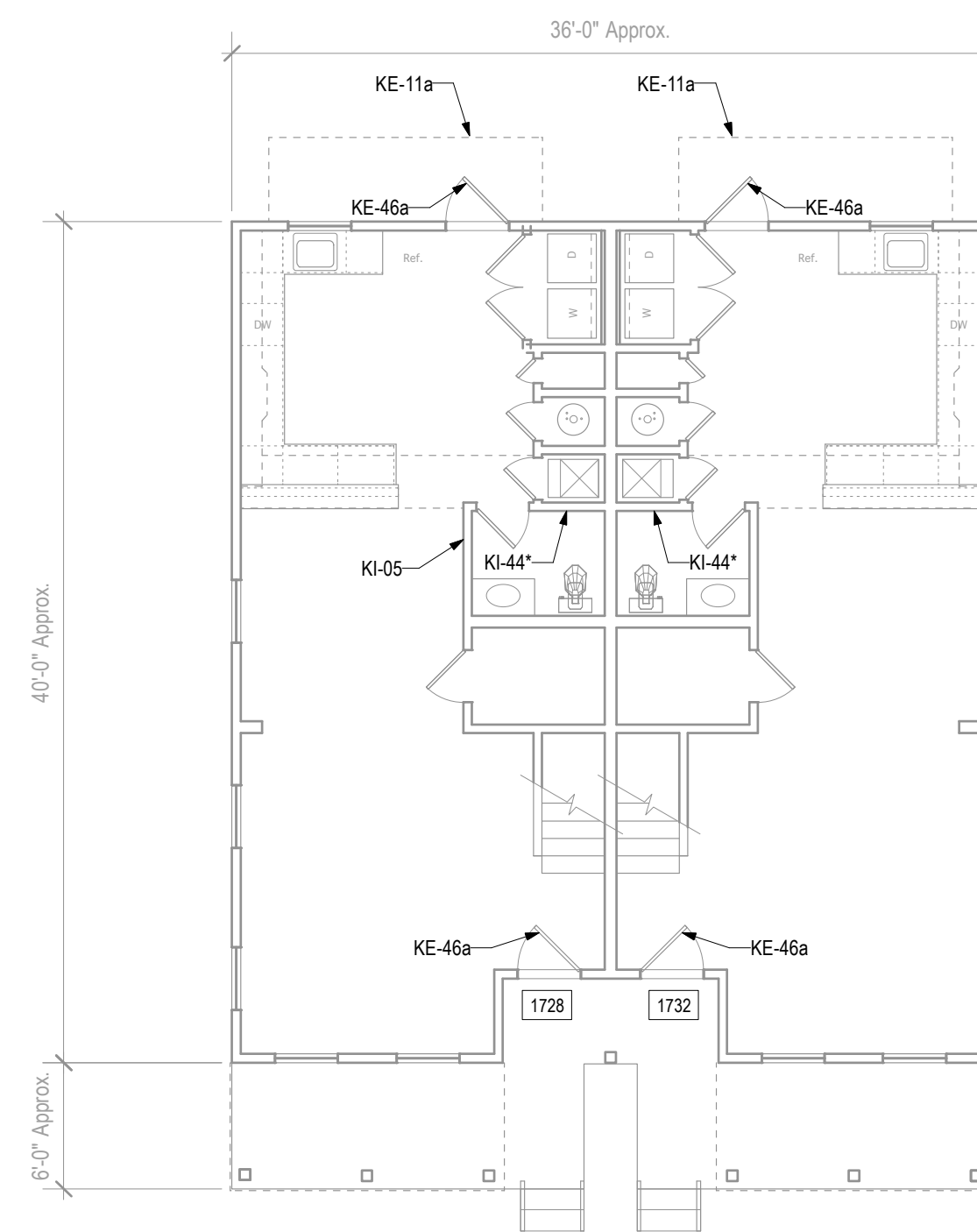
Vol. 0 project no. 11-001
 drawn by VT & MC

sheet no.

A2.14



2 1728 & 1732 Hero Blvd.: Second Floor Plan
 A2.14 Scale: 1/8" = 1'-0"



1 1728 & 1732 Hero Blvd.: First Floor Plan
 A2.14 Scale: 1/8" = 1'-0"

HOUSING AUTHORITY OF NEW ORLEANS
REPAIR AND REHABILITATION OF
FISCHER PHASE I, II, AND SENIOR VILLAGE

HANO A/E Contract:
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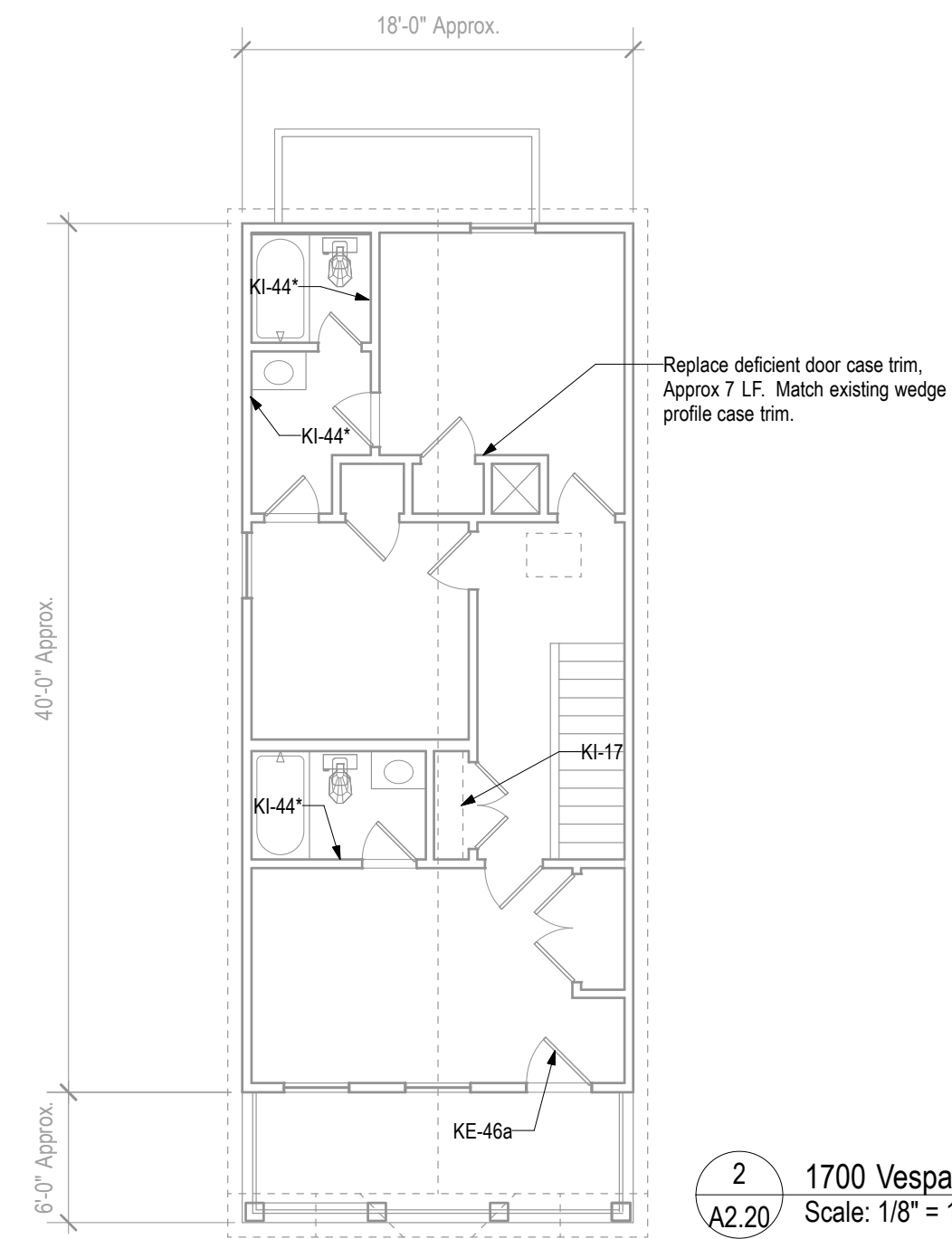
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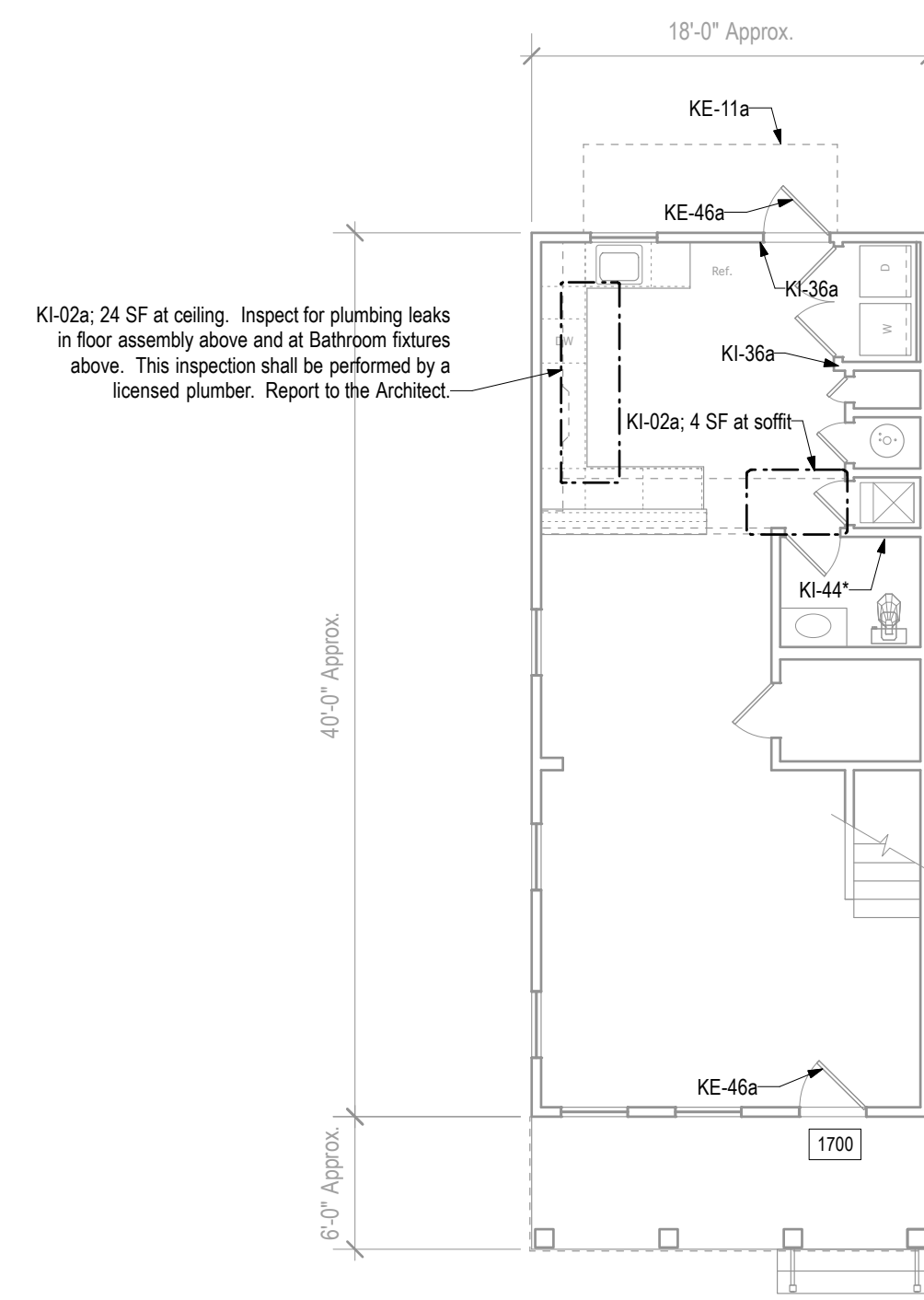
Vol. 0 project no. 11-001
drawn by VT & MC

sheet no.

A2.20



2 1700 Vespasian St.: Second Floor Plan
A2.20 Scale: 1/8" = 1'-0"



1 1700 Vespasian St.: First Floor Plan
A2.20 Scale: 1/8" = 1'-0"

HOUSING AUTHORITY OF NEW ORLEANS
REPAIR AND REHABILITATION OF
FISCHER PHASE I, II, AND SENIOR VILLAGE

HANO A/E Contract:
#09-120-03-11D;
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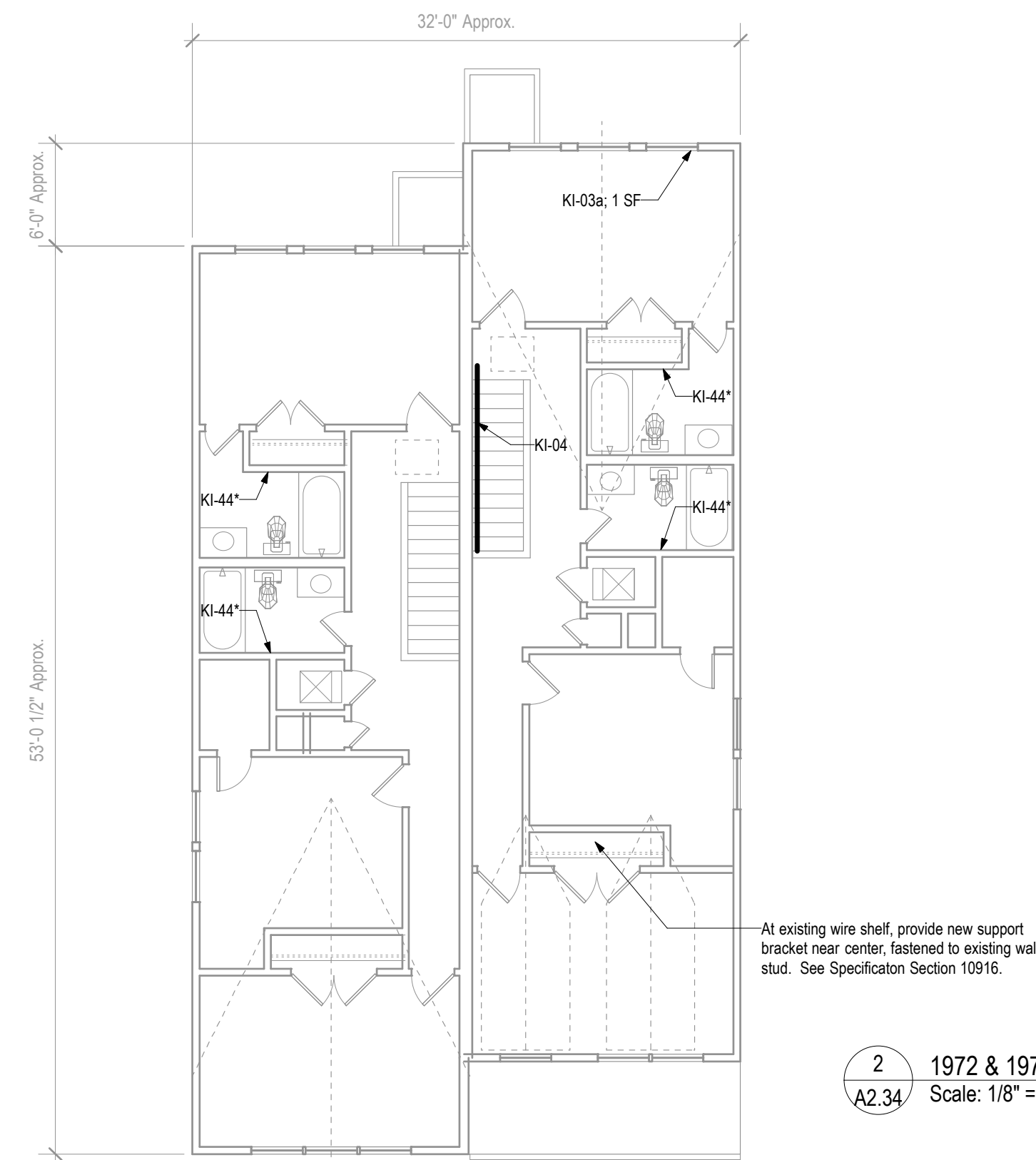
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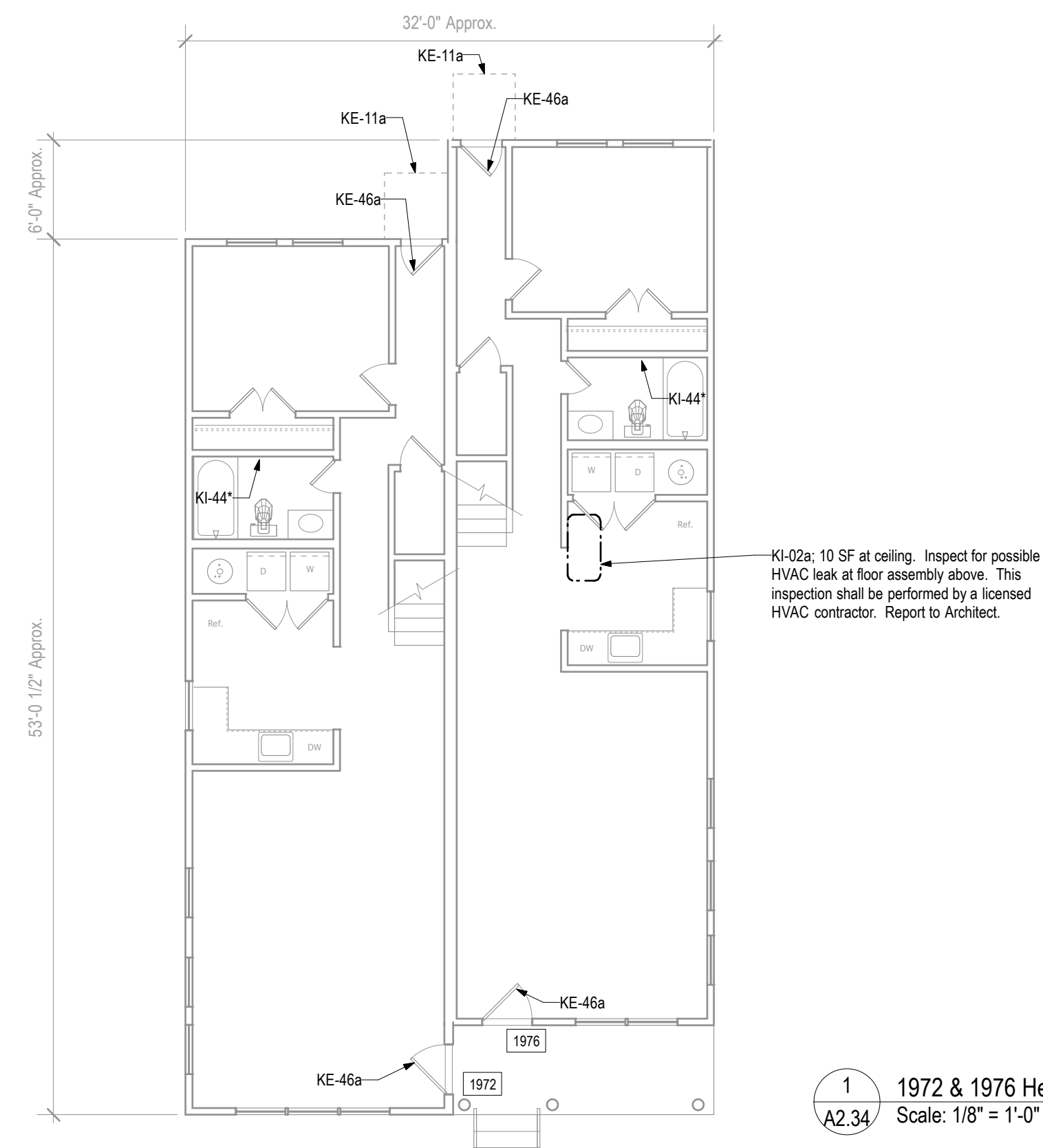
Vol. 0 project no. 11-001
drawn by VT & MC

sheet no.

A2.34



2 1972 & 1976 Hendee St.: Second Floor Plan
A2.34 Scale: 1/8" = 1'-0"



1 1972 & 1976 Hendee St.: First Floor Plan
A2.34 Scale: 1/8" = 1'-0"

PLEASE NOTE NEW BID SUBMISSION DUE DATE

Proposals must be received by the Housing Authority of New Orleans (HANO) in the Office of Procurement and Contracts by 2:00 p.m., local time on Thursday, February 15, 2024. All terms and conditions shall remain as stated in the original Request for Proposals. All addenda must be acknowledged.

END OF ADDENDUM NUMBER THREE



ADDENDUM NUMBER FOUR

February 8, 2024

• **IFB 24-912-13: INTERIOR/ EXTERIOR REPAIRS FOR UPTOWN, DOWNTOWN SCATTERED SITES AND FLORIDA HOUSING COMMUNITY**

• **IFB 24-912-14: INTERIOR/ EXTERIOR REPAIRS FOR WESTBANK SCATTERED SITES AND FISCHER I AND III HOUSING COMMUNITY**

THIS ADDENDUM IS BEING ISSUED TO INCORPORATE THE FOLLOWING IN THE REFERENCED INVITATION FOR BIDS.

Question – Do we remove and replace kitchen cabinets?

Answer – Yes. Replace the top with Granite or Quartz.

Question – Do we remove and replace the bathroom vanity and sink?

Answer – Yes. Replace the vanity and sink.

Question – Do we remove and replace exterior metal doors?

Answer – Replace exterior metal doors **ONLY** if they're broken or badly damaged.

Question – Do we remove exterior screen doors and replace them with security iron doors?

Answer – Only if the screen doors are broken or you need to remove them to replace an exterior door.

Question – Do we paint exterior columns and handrails?

Answer – Yes. You need to paint the exterior of all columns and handrails of that unit/building.

Question – Do we need to paint the whole exterior of the building?

Answer – If there is siding damage that needs to be replaced or removed to repair the frame of a unit then you need to paint the entire building.

A cashier's check in the amount of 5% of the base bid will also be accepted in lieu of a bid bond.

Proposals must be received by the Housing Authority of New Orleans (HANO) in the Office of Procurement and Contracts by 2:00 p.m., local time on Thursday, February 15, 2024. All terms and conditions shall remain as stated in the original Request for Proposals. All addenda must be acknowledged.

END OF ADDENDUM NUMBER FOUR